



WEBER COUNTY PLANNING DIVISION

Administrative Review Meeting Agenda

**August 19, 2026
4:00 pm**

1. **Minutes:** July 22, 2026
2. **Administrative Items**
 - 2.1 DR 2026-08:** Request for approval of an amendment to the DR2025-12, a proposal to construct one new building and make site improvements in parking and landscaping.
Staff Presenter: Felix Lleverino

Adjourn

The meeting will be held in Public Works Conference Room, in the Weber Center, 2nd Floor Suite 240, 2380 Washington Blvd, Ogden Utah 84401

****Public comment may not be heard during administrative items. Please contact***

The Planning Division Project Manager at 801 -399-8374 before the meeting if you have questions or comments regarding an item*

In compliance with the Americans with Disabilities Act, persons needing auxiliary services for these meetings should call the Weber County Planning Commission at 801-399-8374

Minutes of July 22, 2026, Administrative Review Hearing, held in the Weber County Planning Division Office, 2380 Washington Blvd., Suite 240, Ogden UT, commencing at 3:00 p.m.

Staff Present: Rick Grover, Planning Director; Tammy Aydelotte, Planner III; Marta Borchert, Secretary

1. Minutes: July 1, 2026. The minutes of the July 1, 2026, Administrative Review meeting were approved.

2. Administrative Items

2.1 DR 2026-05: A request for approval on a design review application to operate a 20,000 SF auto body shop within the 40,000 SF existing building and make site improvements at 2581 Rulon White Blvd, Ogden, Utah.

Staff Presenter: Felix Lleverino

Felix Lleverino presented a request for approval of a design review application to operate a 20,000-square-foot auto body shop within an existing 40,000-square-foot industrial building and complete associated site improvements at 2581 Rulon White Boulevard in the M-1 Zone. He explained that commercial uses permitted in the C-3 Zone are also permitted within the M-1 Zone, making the proposed auto body shop a permitted use. Because the proposal is a commercial use located within a manufacturing zone, a design review was required.

Mr. Lleverino explained that the design review evaluated site elements including parking, access, landscaping, lighting, and stormwater management. Planning staff provided review comments during the application process, and the applicant addressed those comments promptly. Based on the revised plans, staff determined that the proposal conformed to applicable development standards.

Staff recommended approval of the Jeremy Weller Design Review for Unique Auto Body, located within Weber Industrial Park at 2581 Rulon White Boulevard, subject to one condition:

- The design review shall not be issued until all review agency requirements have been satisfied, specifically any comments from the Fire District.

The Planning Director inquired about the Fire District review comments. Mr. Lleverino stated that no comments had yet been received but confirmed that he had been in communication with the Fire District and anticipated their review.

Finding no issues with the proposal, the Planning Director recommended approval subject to the findings and condition contained in the staff report.

2.2 LVM062926: Consideration and action on a request for final subdivision approval of the Martini Legacy Subdivision Phase 1. A proposal to plat half of a 40 acre parcel into 43 single family lots at approximately 4083 W 1400 S, Ogden, Utah.

Staff Presenter: Felix Lleverino

Felix Lleverino presented a request for final subdivision approval of Martini Legacy Subdivision Phase 1, a proposal to plat approximately one-half of a 40-acre parcel into 43 single-family residential lots located at approximately 4083 West 1400 South, Ogden.

Mr. Lleverino explained that the property had been rezoned from the A-1 Zone to the R-1-15 Zone in June, allowing a residential density of approximately 2.9 units per acre. The subdivision was designed consistent with the approved zoning, including roadway connectivity and pedestrian pathways.

ADMINISTRATIVE REVIEW

He noted that the Planning Commission granted preliminary subdivision approval on August 12, 2025. The proposal had returned for Phase 1 final approval, and several conditions from the preliminary approval remained to be satisfied before recordation.

Staff reported that the applicant had completed several outstanding items, including obtaining final will-serve letters from Taylor-West Weber Water Improvement District and Hooper Irrigation. Remaining conditions included:

- Payment of the required Park District contribution prior to recordation.
- Inclusion of street trees and pathway shoulder groundcover within the civil drawings.
- Demonstration of compliance with the recorded Development Agreement.
- Completion of remaining subdivision plat and construction drawing revisions.
- Satisfaction of remaining engineering review comments, including submission of an updated cost estimate and addition of a required plat note.

Mr. Lleverino stated that the subdivision would receive sewer service from Central Weber Sewer District and that the entire property would be required to annex into the district prior to recordation. Pressurized irrigation service had received final approval, and the submitted geotechnical report addressed roadway and public infrastructure requirements. He further noted that the subdivision layout remained consistent with the concept plan approved during the zoning map amendment process.

Staff had received review comments from all County agencies, including the County Surveyor. Pre-application comments had been received from the Fire District; however, final Fire District review comments were still pending.

Based on the completed review, staff recommended final approval of Martini Legacy Subdivision Phase 1, consisting of 43 lots, subject to all review agency requirements and the seven conditions contained in the staff report. Staff clarified that all conditions must be satisfied prior to recordation.

The Planning Director concurred with staff's recommendation and recommended approval subject to the findings and conditions outlined in the staff report.

Adjournment 3:14pm
Respectfully Submitted,
Marta Borchert



Staff Report to the Weber County Planning Division

Weber County Planning Division

Synopsis

Application Information

Application Request: File Number: DR 2026-08 - Request for approval of an amendment to the DR2025-12, a proposal to construct one new building and make site improvements in parking and landscaping.

Agenda Date: Tuesday, August 19, 2026

Applicant: Brett Preslar, Representative, Nick Thiros, Owner

Property Information

Approximate Address: 2367 Rulon White Blvd, Ogden, UT 84401

Project Area: 2 acres

Zoning: Manufacturing (M-1)

Existing Land Use: Manufacturing

Proposed Land Use: Manufacturing

Parcel ID: 19-060-0014

Township, Range, Section: T7N, R2W Section 36

Adjacent Land Use

North:	Manufacturing	South:	Manufacturing
East:	Manufacturing	West:	Manufacturing

Staff Information

Report Presenter: **Felix Lleverino**
fleverino@webercountyutah.gov
801-399-8767

Report Reviewer: TA

Applicable Ordinances

- Title 101 Chapter 1 General Provisions, Section 7 Definitions
- Title 104 Chapter 21 (M-1 Zone)
- Title 108 Chapter 1 (Design Review)
- Title 108 Chapter 7 (Parking Lot Design and Maintenance)

History

The original proposal, under file number DR2025-12, was approved on October 14, 2025, by the Weber County Planning Commission, with the following condition:

1. Written approval of the design shall not be issued until all of the review agency requirements have been met, specifically the comments from the county Engineering and Fire District.

Summary and Background

The applicant is requesting approval from the planning division to construct one new structure within lot 12 of the Weber Industrial Park, Plat A. All new commercial and industrial zones require a design review for site changes and additions; the planning director is designated as the land use authority to approve this design review amendment, which consists of removing the 3,908 SF south building from the building plan. The area where the south building was proposed will be paved for parking. The proposed north building will be enlarged by 12 feet by 259 feet, which will add 3,108 SF, bringing the total square footage of the proposed north building to 19,563 SF. The 11' wide area to the west and the 6' wide area on the north side of the proposed building will be landscaped with weed barrier and rock mulch. The remaining landscaping from the initial proposal will remain the same; see Exhibit B.

The property is currently occupied by one 5,000 SF building that serves as a warehouse, 14 parking spaces and a 150' Cell tower permitted under CUP1996-11.

A review of the site plan finds that the architectural drawings and landscape plan display compliance with applicable ordinances.

No business signage is proposed at this time.

The section below provides further analysis by staff for applicable topics from the conditional use permit and design review criteria.

Analysis

General Plan: The request to amend the original design review proposal remains to further the goals and principles of the Western Weber General Plan by making site improvements to building architecture and landscaping.

Zoning: The subject property is located within the Manufacturing (M-1) Zone. The purpose of the M-1 Zone can be further described in LUC §104-21-1 as follows:

The purpose of the Manufacturing (M-1) Zone is to provide a light manufacturing zone in areas that will accommodate the need for light intensity type manufacturing and its associated accessory uses, some of which may have an environmental impact requiring public review and regulation.

Site Development Standards: The new 7-unit, 19,563 square foot structure on the north side of the property complies with the minimum yard setbacks of the M-1 zone.

The M-1 zone does have a maximum coverage by buildings of 80 percent. The combined lot coverage of the existing structure and new proposed structure will not exceed the maximum.

New Structures for Flex Space: The planned structure will be made available to the public for business operations. The type and size of business may vary as tenants change. Each new tenant will be required to undergo, at minimum, a design review before adding business signage and before business operations may begin.

Parking: Section 108-8-4 specifies that a warehouse generally requires two spaces per three employees. Based on that minimum requirement, if you figure two spaces per unit, the total recommended number of spaces is 14 spaces. The total number of parking spaces across the existing and new accommodations totals 42 spaces. The Planning Director may adjust the parking standards if they determine that an adjustment is equitable and warranted.

Screening: light office and warehousing does not require additional screening from neighboring properties specifically because the architectural and screening standards are not applicable in the M-1 zone under code section 108-2-3 (a) (3). The property trash dumpster will be located in the area where the south building was originally planned. The dumpster will be enclosed in a manner that is completely screened from the street or public view.

Landscaping: This proposal includes an irrigation plan and landscape plan that intended to beautify the landscaping within the lot with a mix of drip irrigation and sprinkler irrigation to irrigate the various species of trees and shrubs. This plan proposed to rehabilitate the existing turf grass and trees while adding more trees and ground covering with weed barrier to reduce the amount of water needed. The Water-wise Landscape code contains provisions for non-conforming landscaping. The total amount of turf-grass within the property is 6,600 SF, which falls below the maximum from the water-wise landscape code. Further, the total existing and proposed landscaped area falls below the maximum 20,000 square feet of nonconforming landscaping.

Design Review: The planning division review of this proposal for general design, layout and appearance of the building is performed to ensure that the redevelopment of the site remains in harmony with the surrounding uses and to ensure that the design review criteria found in Weber County Code Section 108-1 are satisfied.

- a) Considerations relating to traffic safety and traffic congestion.
- b) Considerations relating to outdoor advertising.
- c) Considerations relating to landscaping.
- d) Considerations relating to buildings and site layout.
- e) Considerations relating to utility easements, drainage, and other engineering questions.
- f) Considerations relating to prior development concept plan approval associated with any rezoning agreement, planned commercial or manufacturing rezoning, or planned residential unit development approval.

Review Agencies: The Weber County Engineering Department and Fire District comments are carried over from the original DR2025-12 project and are as follows:

has posted conditional approval with several comments regarding utilities, site design, and permitting. The Fire District comments are listed below:

Engineering:

1. Provide a will serve letter for Sewer and Culinary Water for the additional uses.
2. Provide a detailed stamped design for the underground storm water detention. Make sure they are using the correct volume for storage.
3. Any work within the county right of way will need to have an excavation permit.
4. Provide a CGP SWPPP with the building permit application.

Fire:

1. Perhaps the county can weigh in on this. Is there any way the parking lot can connect to Hemmingway Street so it's a pull-through instead of a turnaround?
2. Fire access roads must be located within 150 feet of all portions of the facility and all exterior walls.
3. A hydrant may need to be added. Please show the location of the closest hydrant.

Staff Recommendation

Staff recommends approval of the Thiros Design Review Amendment application DR 2026-08. This recommendation is conditioned upon all review agency requirements and the following conditions:

1. Written approval of the design shall not be issued until all review agency requirements have been satisfied, specifically the comments from County Engineering and Fire.

This recommendation is based on the following findings:

1. The construction of new buildings within this legally platted subdivision lot is permitted under the land use code.
2. The proposal complies with applicable requirements from the M-1 zone.
3. The proposal demonstrates compliance with the applicable land use codes.

Exhibits

- A. Plans
- B. Landscaping Plan

Map 1



**PROJECT REVISIONS
JULY 28, 2026
KEVERI BUILDINGS
2367 RULON WHITE BLVD**

In summary; the major changes being proposed are the elimination of the “South” building from the project scope and the addition of approximately 3,108 sf to the “North” building.

Following is an outline of the changes:

1. “PROJECT REVISIONS—SITE PLAN” DRAWING

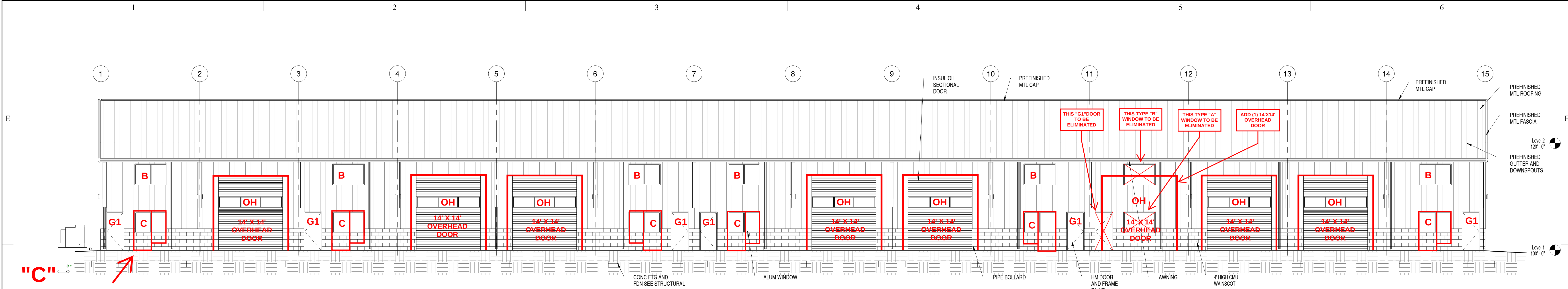
- a. The “South” building is being eliminated from the project and will not be constructed.
- b. The area where the “South” building was proposed will be paved and become part of the general parking lot area.
 - i. The balance of the west area adjacent to where the “South” building would have been built will be paved and become part of the general parking lot area.
 - ii. Future dumpster(s) will be located in this general area; exact size and location “TBD” contingent to future tenants.
- c. The “North” building will be enlarged by adding a 12’x259’ extension to the entire South side of the building.
 - i. This will add 3,108 sf to the “North” building
 1. Total revised square footage of the “North” building will be approximately 19,563 sf.
 - ii. The area West of the “North” building to be rock mulch.
- d. Eliminate the original dumpster enclosure area and pave with asphalt as part of the general parking lot area.

2. “ELEVATION REVISIONS—NORTH BUILDING” DRAWING

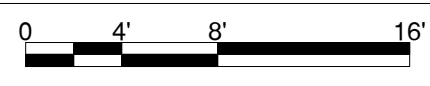
- a. Window/door revisions:
 - i. Eliminated one (1) type B window from the front elevation.
 - ii. Eliminated one (1) type A window from the front elevation.
 - iii. Eliminated one (1) 3/0x7/0 type G1 personnel door from front elevation.
 - iv. Added one (1) 14’x14’ overhead door to the front elevation.
 - v. Changed all overhead doors from 12’ width to 14’ width.
 - vi. Added six (6) type C storefront door/window combinations to the front elevation.
 - vii. Added two (2) type B windows to both the East & West elevations.
- b. Changed the rear exterior wall of the “North” building from masonry to metal siding.

3. Additional Revisions included which pertain to previous comments for the original application:

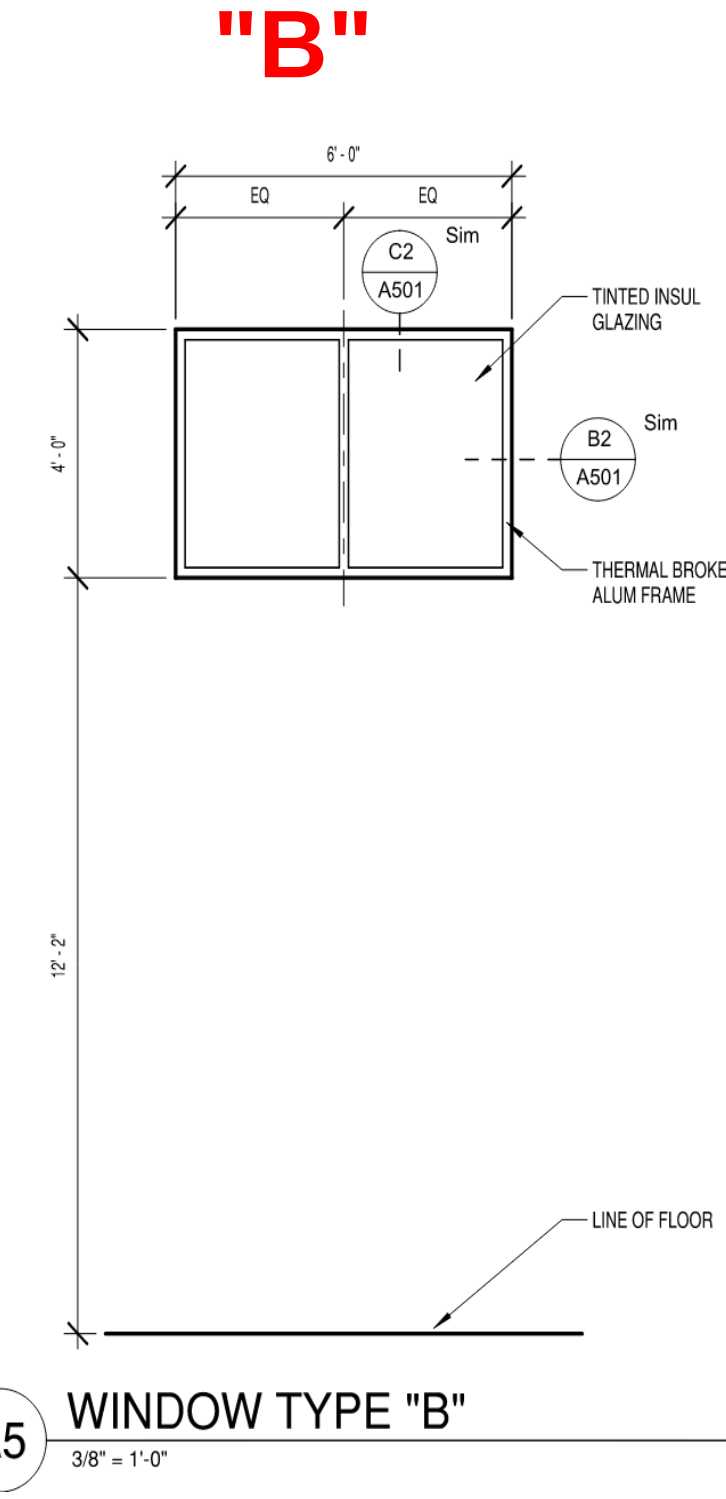
- a. Added fire suppression/fire alarm to the “North” building per fire dept. options and discussion.
 - i. New 6” fire suppression lateral to be installed in the Northeast corner of the “North” building.
- b. Added parking lot access to Hemmingway Street per fire dept. request and discussion.



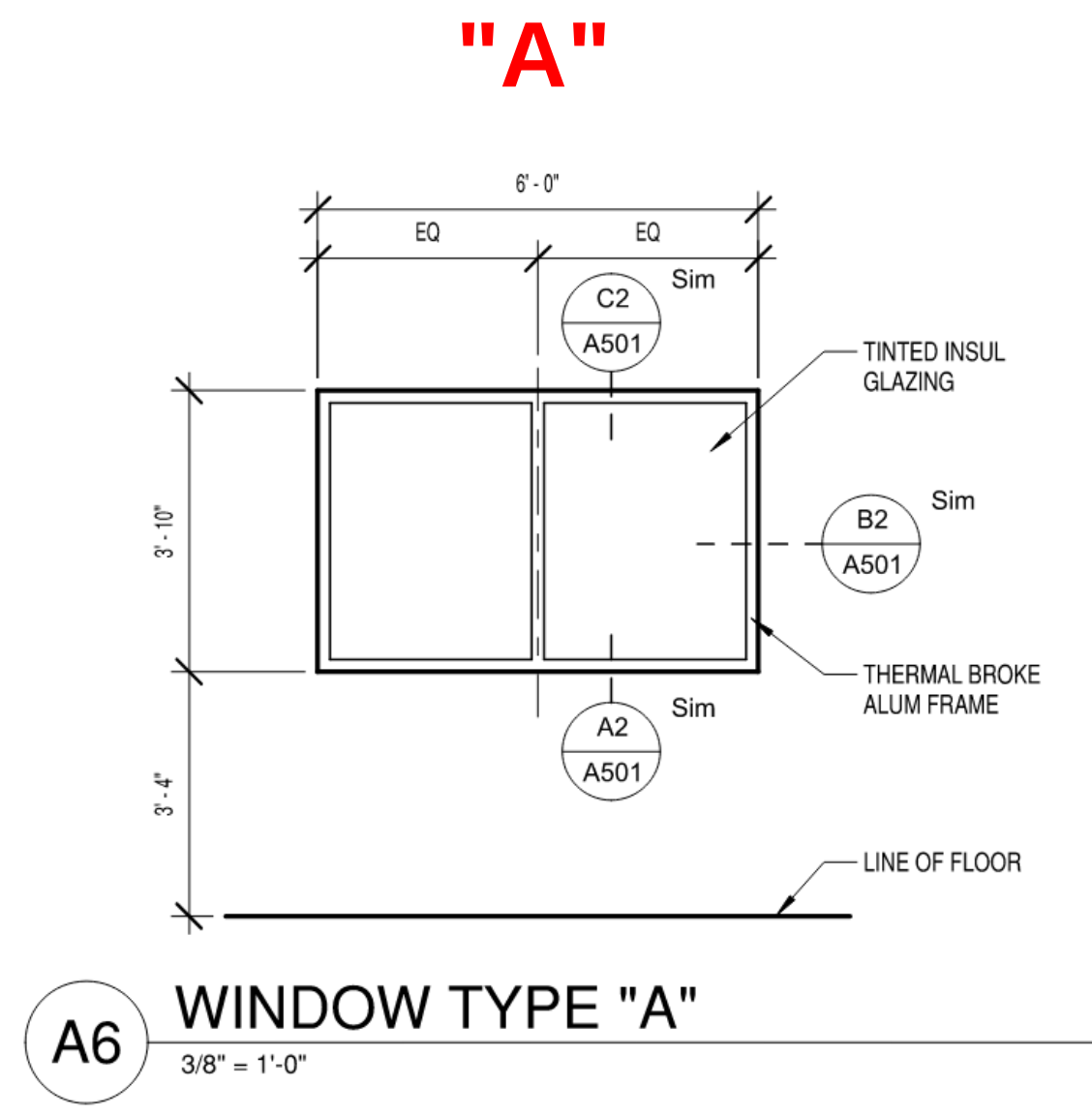
E1 SOUTH EXTERIOR ELEVATION
1/8" = 1'-0"



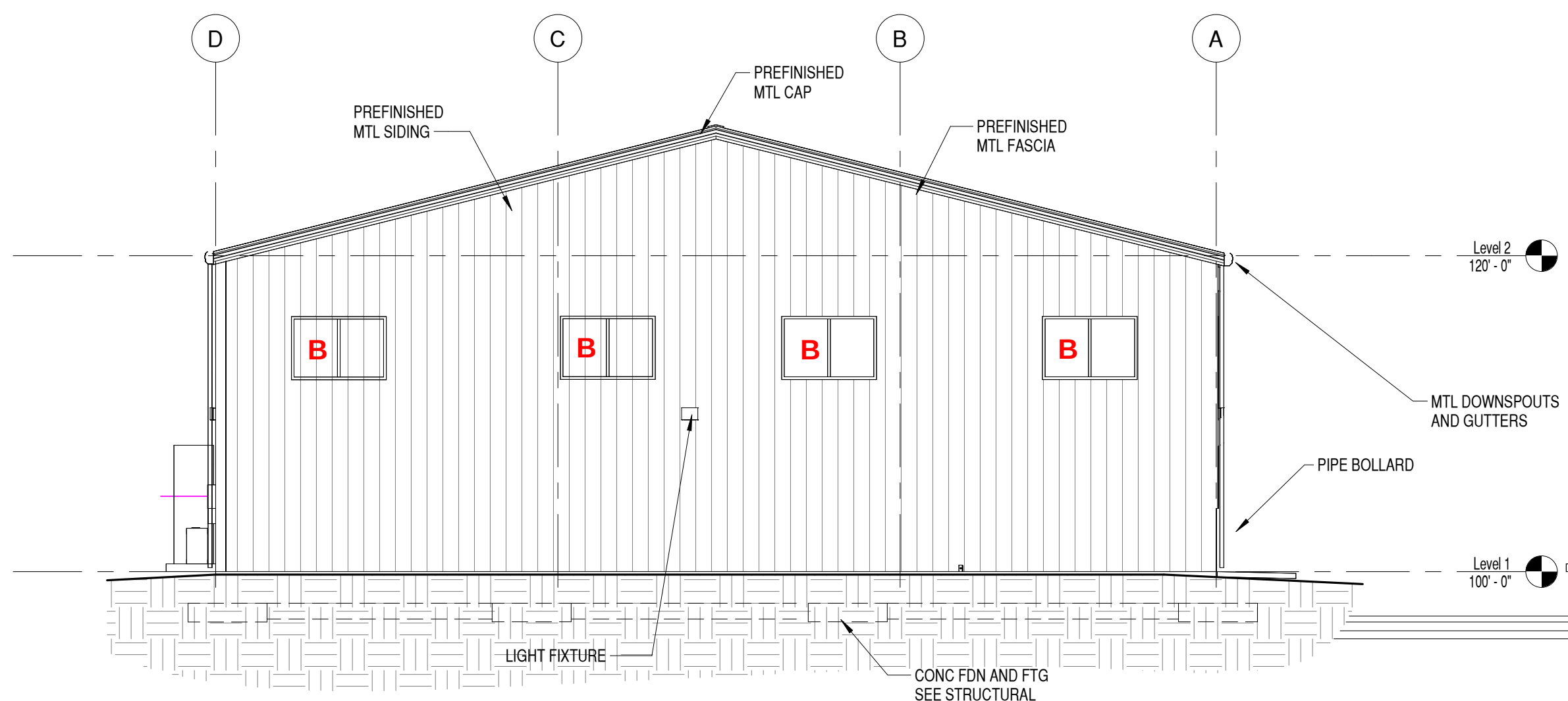
3'4" X 7'4" STOREFRONT DOOR WITH 2'8" X 6'0" STOREFRONT WINDOW



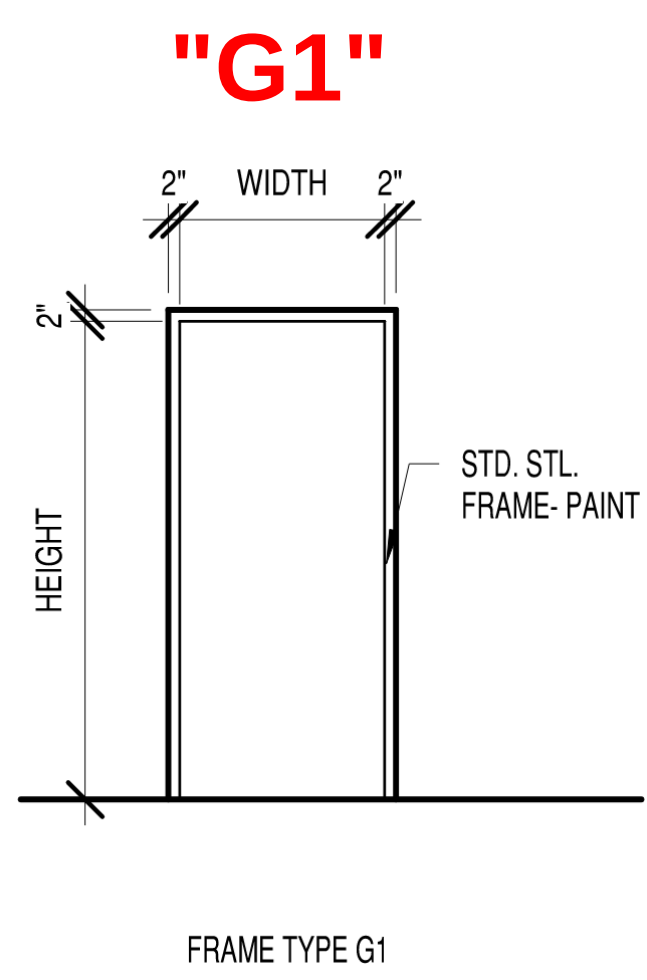
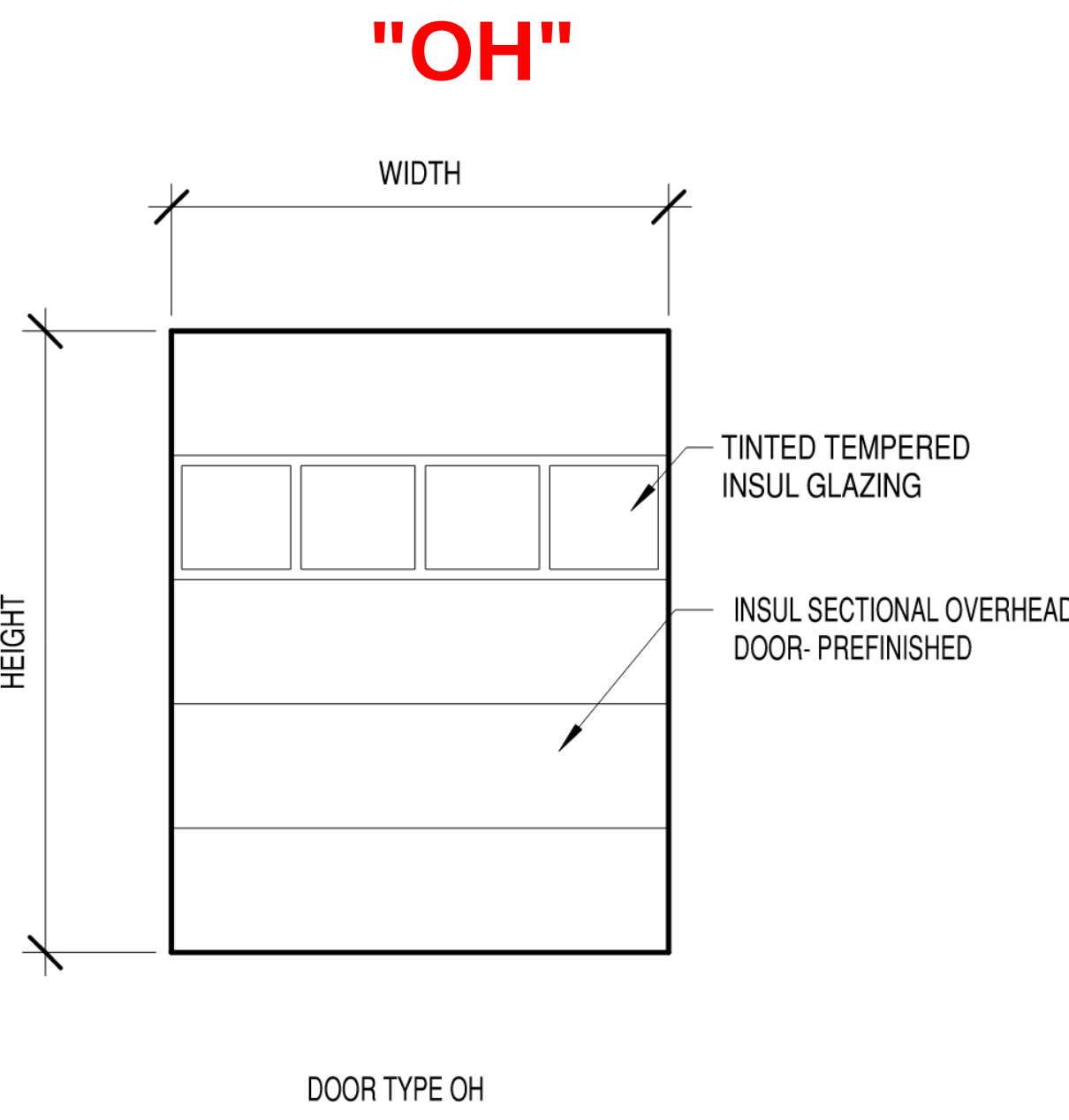
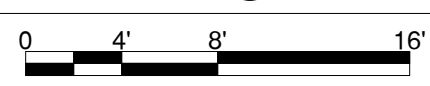
A5 WINDOW TYPE "B"
3/8" = 1'-0"



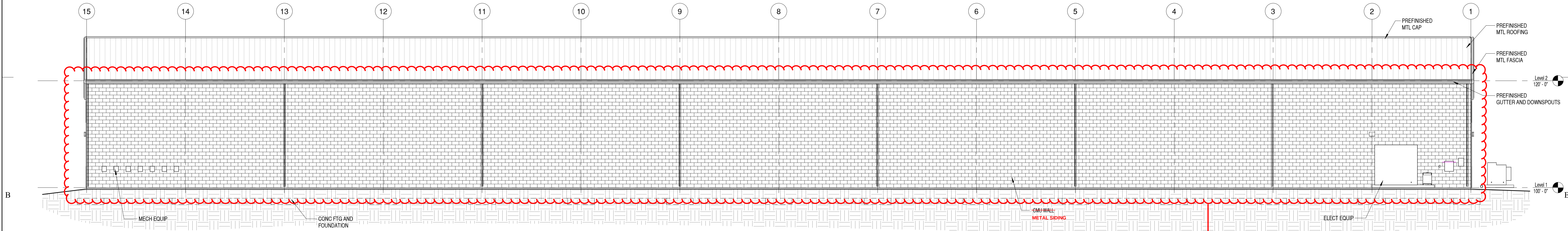
A6 WINDOW TYPE "A"
3/8" = 1'-0"



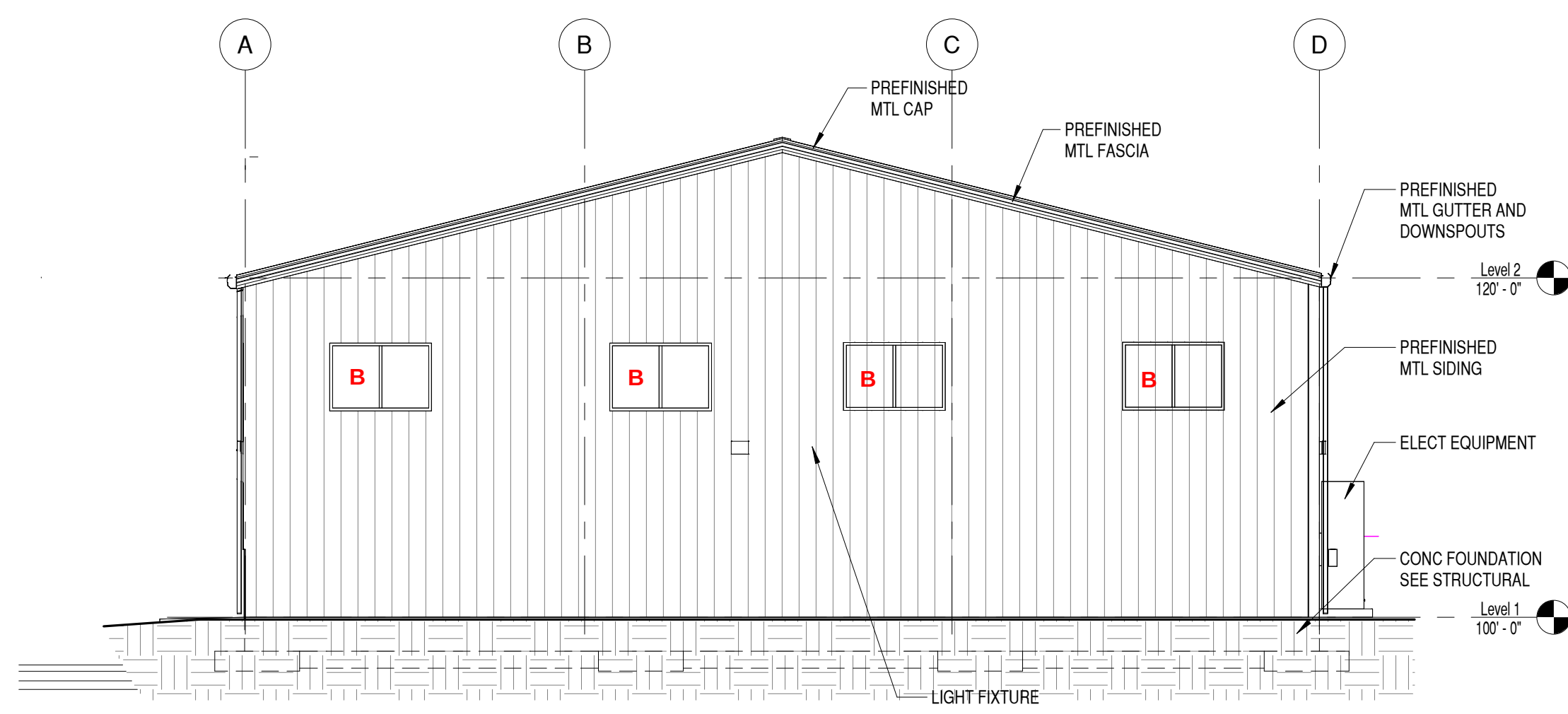
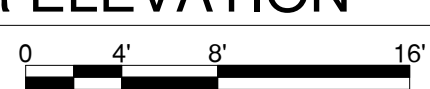
C2 WEST EXTERIOR ELEVATION
1/8" = 1'-0"



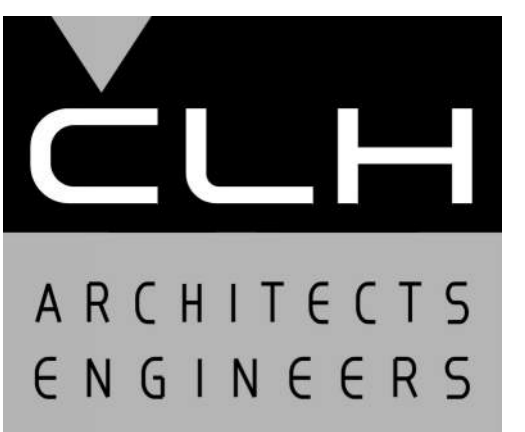
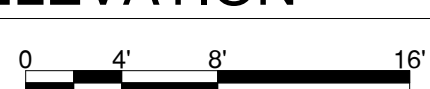
FRAME TYPE G1



B1 NORTH EXTERIOR ELEVATION
1/8" = 1'-0"



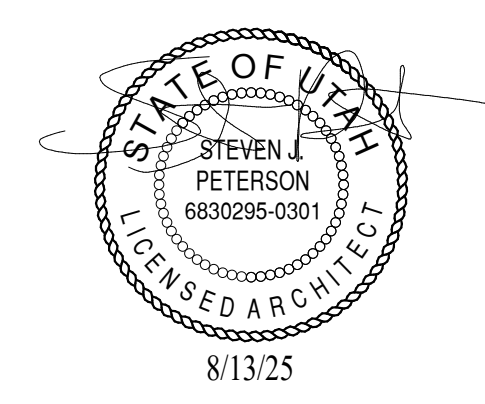
A1 EAST EXTERIOR ELEVATION
1/8" = 1'-0"



Case, Lowe & Hart, Inc. • 2484 Washington Blvd.
Suite 510 • Ogden, Utah 84401-2346
801-399-5821 • www.clhae.com

CONSULTANTS

STAMP



KEVERI BUILDINGS

2367 RULON WHITE BLVD
WEBER COUNTY, UTAH

MARK	DATE	DESCRIPTION
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ISSUE:	3/16/2022
PROJECT NO:	21180
CAD DWG FILE:	
DRAWN BY:	KDL
CHK'D BY:	SJP

PERMIT AND BID SET
16 MARCH 2022

SHEET TITLE

EXTERIOR ELEVATIONS- NORTH BUILDING

A201

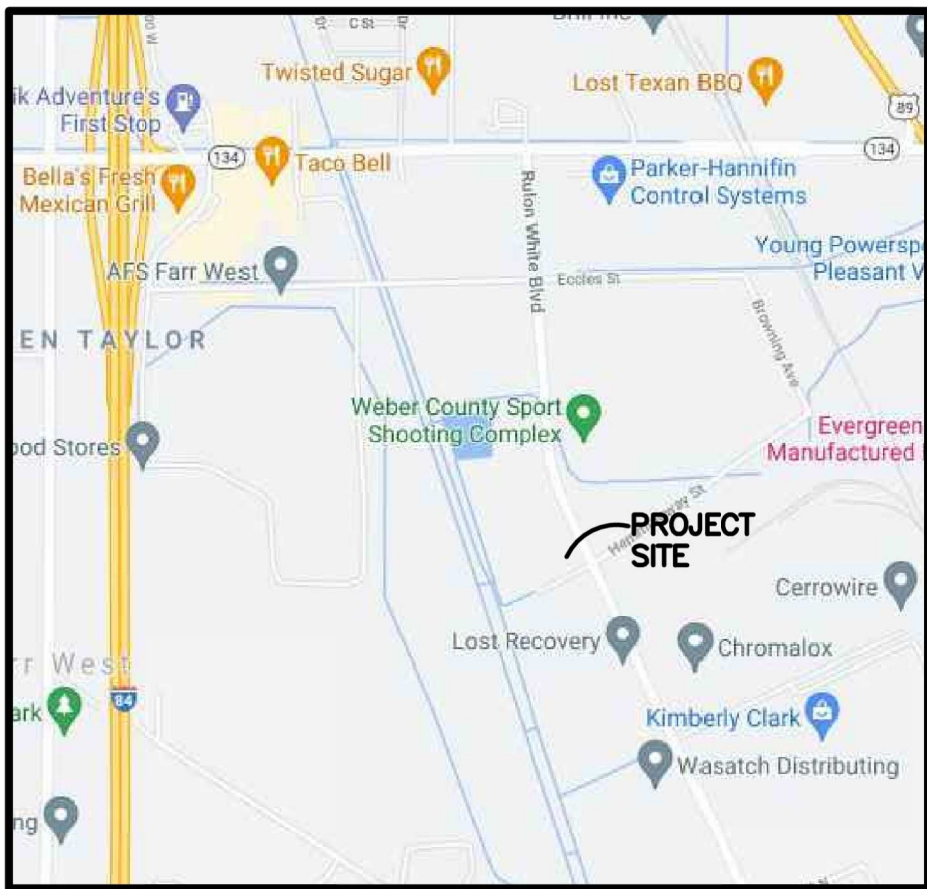
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Project Narrative/Notes/Revisions

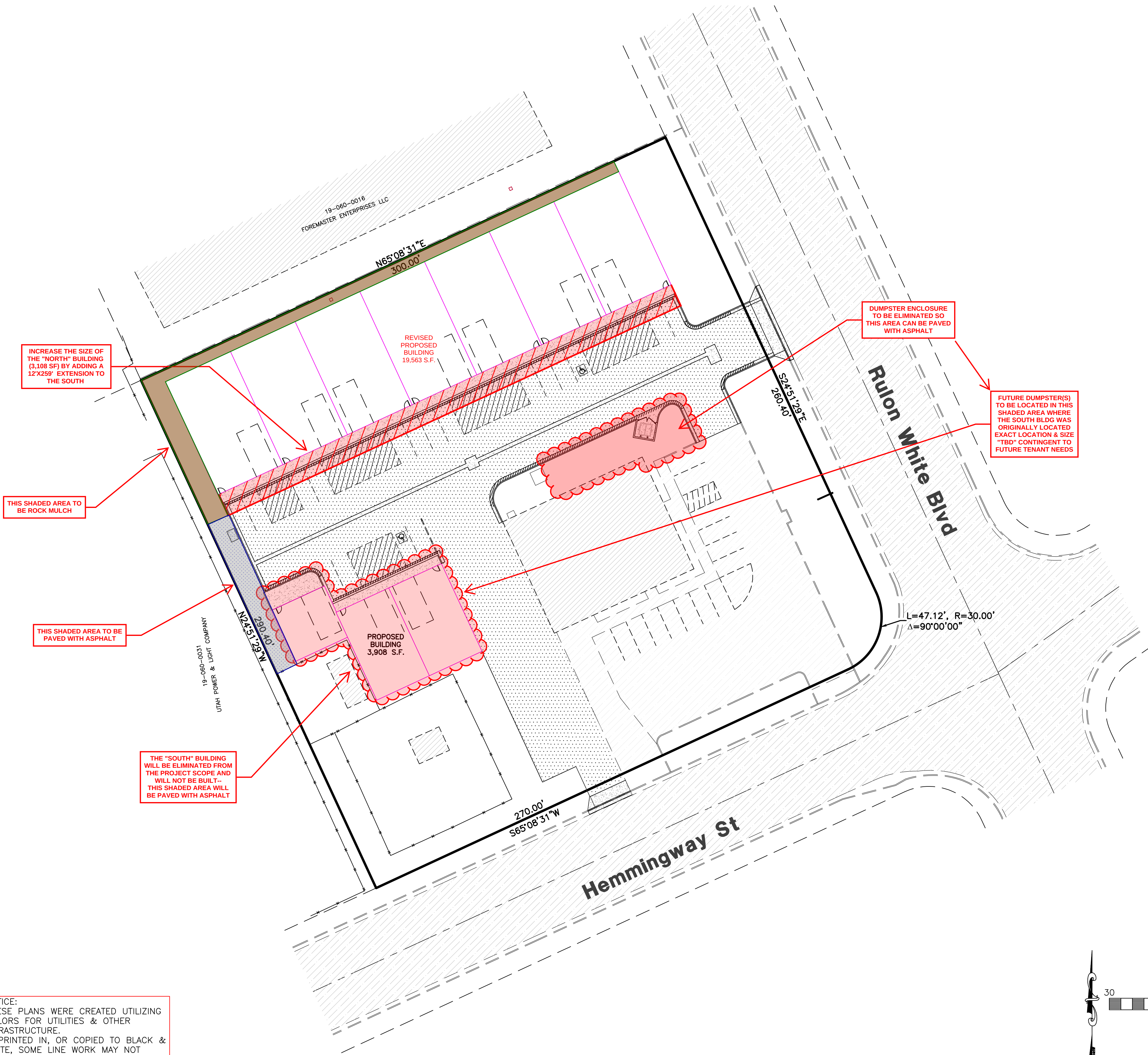
- 08/25/2021 JM - COMPLETED DESIGN FOR CLIENT & CITY REVIEW.
- 03/22/2022 JM - UPDATED PER NEW BUILDING FOOTPRINT.
- 11/10/2022 JM - UPDATED PER CLIENT COMMENTS.

Keveri Buildings 2367 Rulon White Blvd Improvement Plans

WEBER COUNTY, UTAH
AUGUST 2021



Vicinity Map
NOT TO SCALE



NOTICE:
THESE PLANS WERE CREATED UTILIZING
COLORS FOR UTILITIES & OTHER
INFRASTRUCTURE.
IF PRINTED IN, OR COPIED TO BLACK &
WHITE, SOME LINE WORK MAY NOT
SHOW UP PROPERLY.

Sheet Index

- Sheet 1 - Cover/Index Sheet
- Sheet 2 - Notes/Legend
- Sheet 3 - Existing/Demolition Plan
- Sheet 4 - Proposed Site Plan
- Sheet 5 - Grading/Utility Plan
- Sheet 6 - Civil Details
- Sheet 7 - Storm Water Pollution Prevention
Plan Exhibit
- Sheet 8 - Storm Water Pollution Prevention
Plan Details
- Sheet 9 - Landscape Plan
- Sheet 10 - Irrigation Plan
- Sheet 11 - Irrigation Details

Engineer's Notice To Contractors

THE EXISTENCE AND LOCATION OF ANY UNDERGROUND UTILITY PIPES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM AVAILABLE INFORMATION PROVIDED BY OTHERS. THE LOCATIONS SHOWN ARE APPROXIMATE AND SHALL BE CONFIRMED IN THE FIELD BY THE CONTRACTOR, SO THAT ANY NECESSARY ADJUSTMENT CAN BE MADE IN ALIGNMENT AND/OR GRADE OF THE PROPOSED IMPROVEMENT. THE CONTRACTOR IS REQUIRED TO CONTACT THE UTILITY COMPANIES AND TAKE DUE PRECAUTIONARY MEASURE TO PROTECT ANY UTILITY LINES SHOWN, AND ANY OTHER LINES OBTAINED BY THE CONTRACTOR'S RESEARCH, AND OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS.

Elevation Datum:

Site Benchmark:
THE BASIS OF BEARING FOR THIS PLAT IS THE SECTION
LINE BETWEEN THE NORTH QUARTER CORNER AND THE
NORTHEAST CORNER OF SECTION 36, TOWNSHIP 7
NORTH, RANGE 2 WEST, SALT LAKE BASE AND MERIDIAN,
U.S. SURVEY, SHOWN HEREON AS: S89°54'02"E.



Architect:

Case Low & Hart, INC
2484 Washington Blvd, ste 510
Ogden Utah 84401
PH: (801) 399-5821

Geotechnical Report:

Surveyor:

Trevor Hatch
Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH: (801) 621-3100

Landscape Architect:

Nathan Peterson
Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH: (801) 621-3100

Developer Contact:

Project Contact:

Jeremy Draper
Reeve & Associates, Inc.
5160 South 1500 West
Riverdale, Utah, 84405
PH: (801) 621-3100



REVISIONS	DATE	DESCRIPTION
	08/25/21	JM DESIGN COMPLETED.
	03/22/22	JM NEW FOOTPRINT.

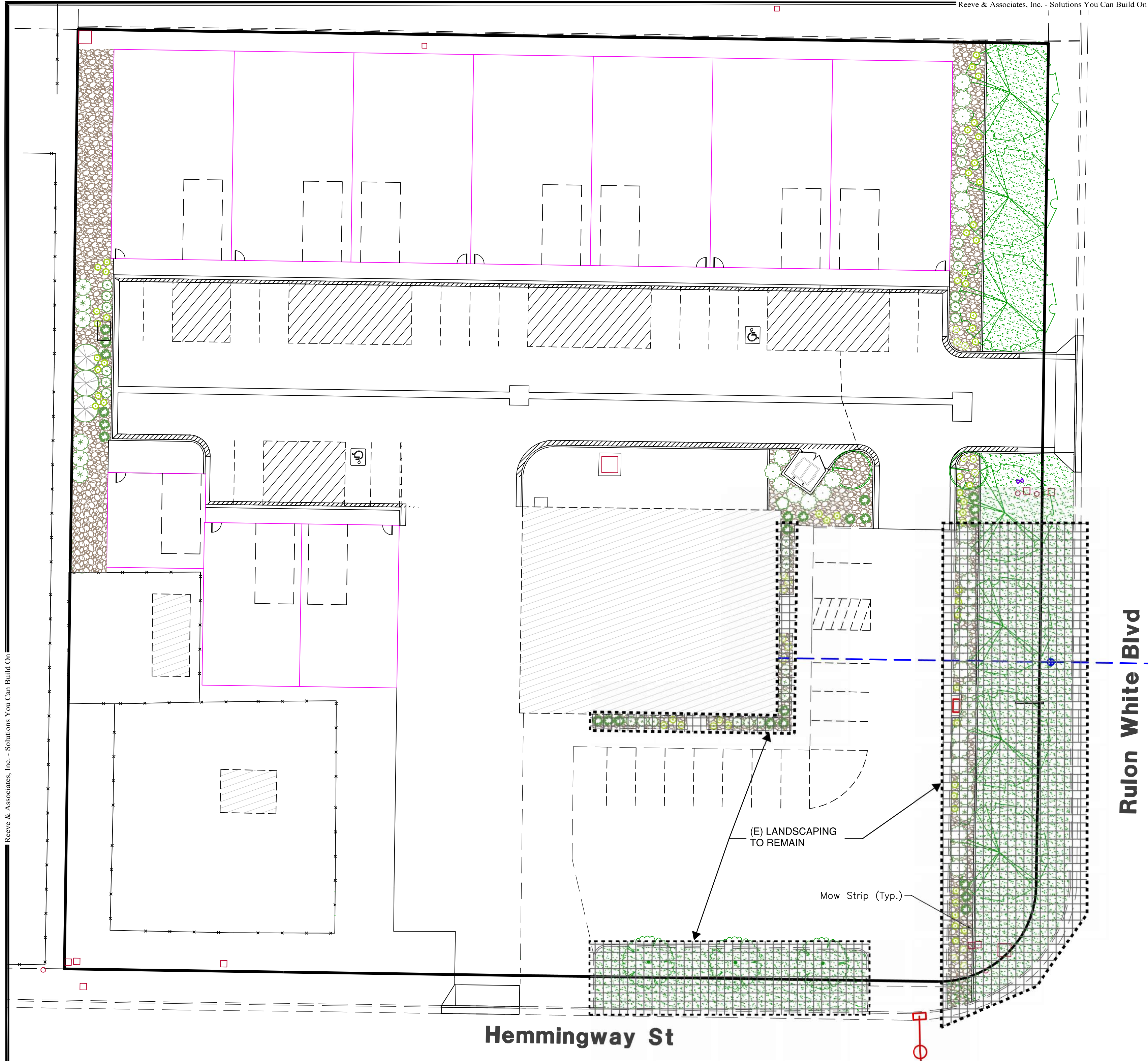
Keveri Buildings
2367 Rulon White Blvd
Weber County, Utah

Cover/Index Sheet



Project Info.

Engineer:
JEREMY A. DRAPER, P.E.
Drafter:
J. MEYERS
Begin Date:
AUGUST 2021
Name:
KEVERI BUILDINGS
Number: 6528-55



PLANT TABLE

TREES				
Quantity	Symbol	Scientific Name	Common Name	Size
2		Acer platanoides 'Crimson Sentry'	Crimson Sentry Norway Maple	1.5" cal.
0		Ginkgo biloba 'Princeton Sentry'	Princeton Sentry Ginkgo	1.5" cal.
4		Zelkova serrata 'Village Green'	Village Green Zelkova	1.5" cal.

SHRUBS				
Quantity	Symbol	Scientific Name	Common Name	Size
6		Buddleia x weyeriana 'Sungold'	Sungold Butterfly Bush	5 gal.
3		Cornus sericea 'Baileyi'	Baileyi Dogwood	5 gal.
13		Euonymus alatas 'Compacta'	Dwarf Burning Bush	1 gal.
6		Nandina domestica	Heavenly Bamboo	1 gal.
14		Pinus mugo 'Slowmound'	Slowmound Mugo Pine	1 gal.
1		Symphoricarpos alba	Common Snowberry	1 gal.
9		Spiraea bumalda 'Gold Mound'	Gold Mound Spirea	1 gal.

PERENNIALS				
Quantity	Symbol	Scientific Name	Common Name	Size
30		Achillea millefolium 'Paprika'	Paprika Yarrow	1 gal.
6		Bergenia cordifolia "Rose"	Rose Bergenia	1 gal.
9		Rudbeckia fulgida 'Goldsturm'	Goldsturm Black Eyed Susan	1 gal.

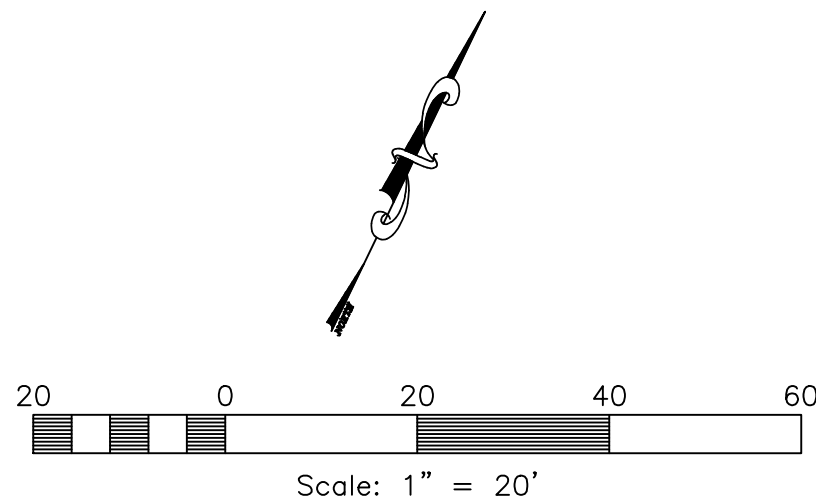
OTHER		
Symbol	Description	Size/Type
	Turf Grass - Sod	Sod
	Kentucky Bluegrass Mix - 3 Species Minimum	
	Gravel Mulch	1" Diameter
	Place mulch over 5 ounce Professional weed barrier cloth in all planting beds. Contractor to provide samples to owner for approval prior to delivery.	3" Depth
	Concrete Mow Strip	6"x6"

Rulon White Blvd

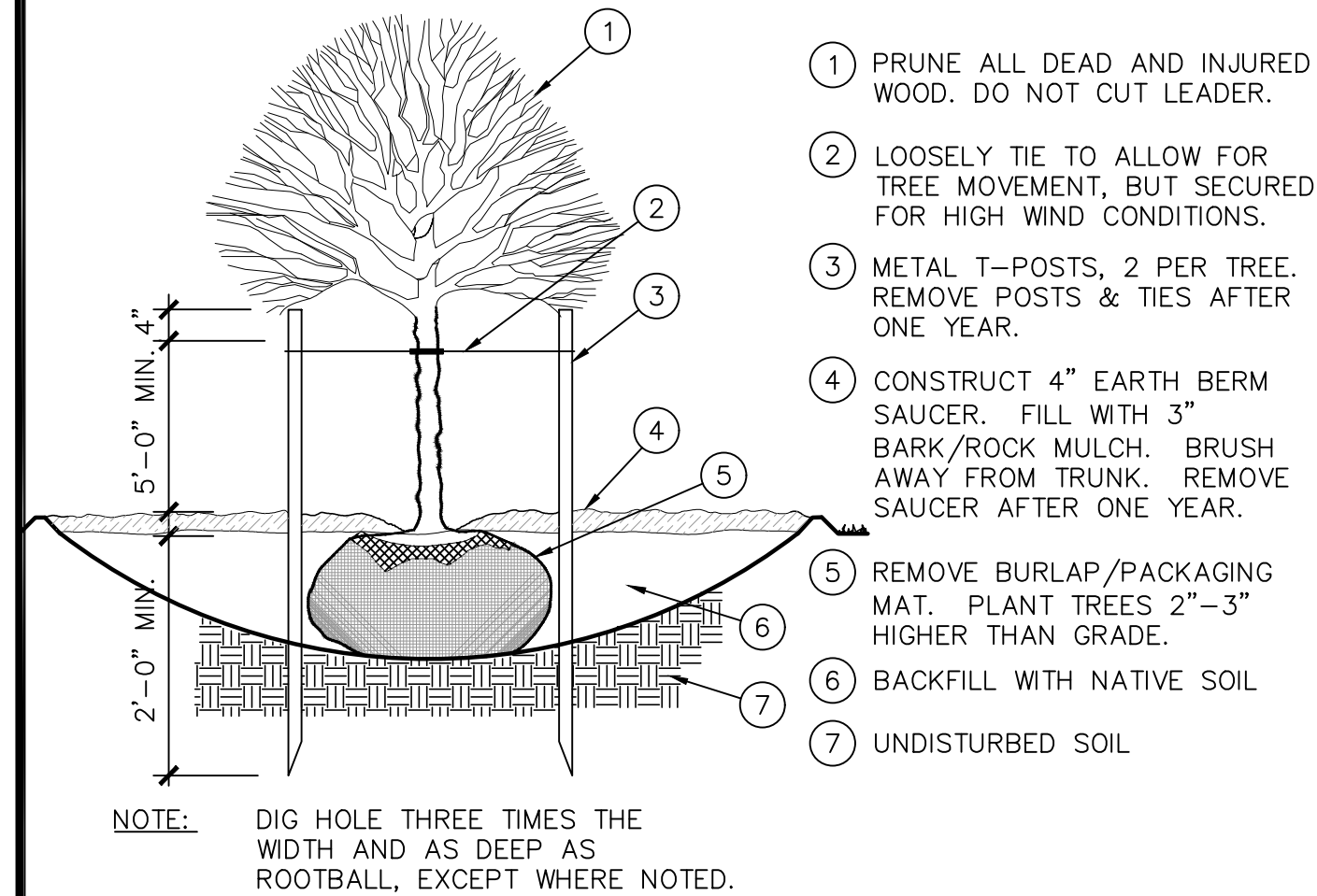
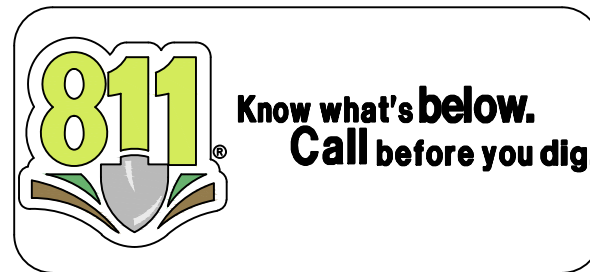
Hemmingway St

Mow Strip (Typ.)

(E) LANDSCAPING TO REMAIN



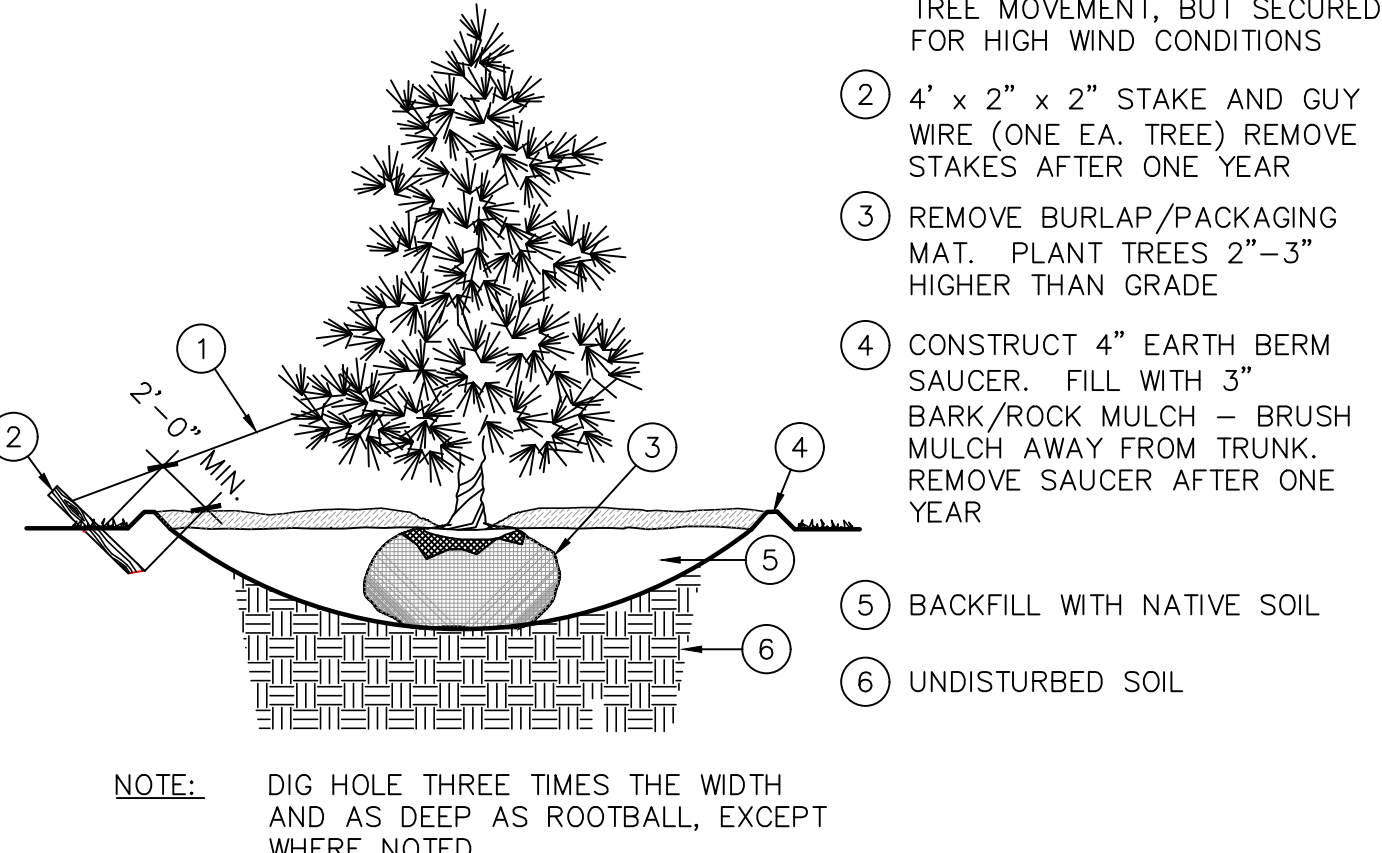
NOTICE:
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IF PRINTED IN, OR COPIED TO BLACK &
WHITE, SOME LINE WORK MAY NOT
SHOW UP PROPERLY.



NOTE: DIG HOLE THREE TIMES THE WIDTH AND AS DEEP AS ROOTBALL, EXCEPT WHERE NOTED.

DECIDUOUS TREE PLANTING

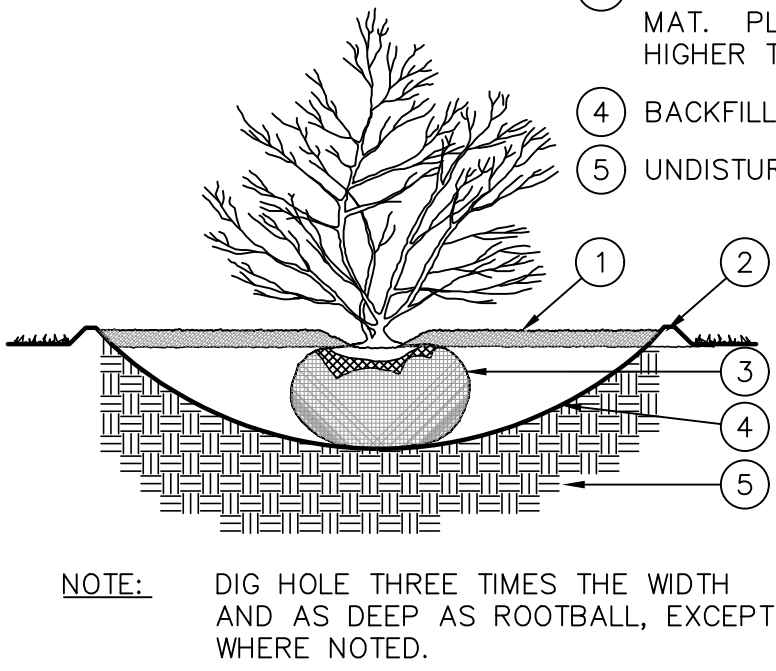
NTS



NOTE: DIG HOLE THREE TIMES THE WIDTH AND AS DEEP AS ROOTBALL, EXCEPT WHERE NOTED.

CONIFEROUS TREE PLANTING

NTS

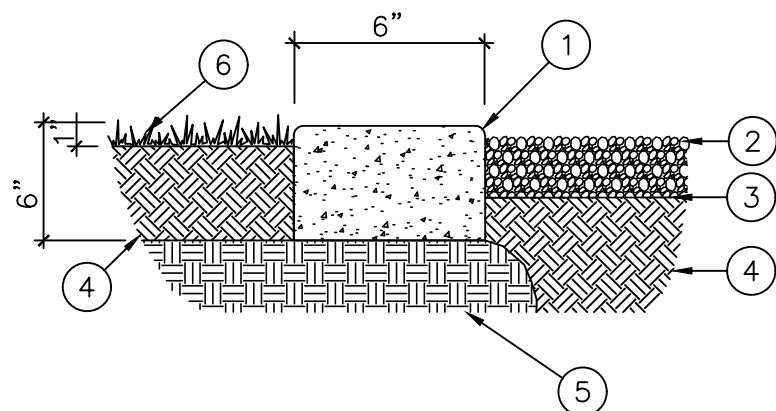


NOTE: DIG HOLE THREE TIMES THE WIDTH AND AS DEEP AS ROOTBALL, EXCEPT WHERE NOTED.

SHRUB PLANTING

NTS

- 1 3" OF BARK/ROCK MULCH. BRUSH AWAY FROM STEM
- 2 3" EARTH BERM SAUCER. REMOVE AFTER ONE YEAR
- 3 REMOVE BURLAP/PACKAGING MAT. PLANT SHRUBS 2"-3" HIGHER THAN GRADE.
- 4 CONSTRUCT 4" EARTH BERM SAUCER. FILL WITH 3" BARK/ROCK MULCH - BRUSH MULCH AWAY FROM TRUNK. REMOVE SAUCER AFTER ONE YEAR
- 5 BACKFILL WITH NATIVE SOIL
- 6 UNDISTURBED SOIL



CONCRETE MOW STRIP

NTS

PLANTING NOTES

1. This planting plan is diagrammatic and plant locations are approximate.
2. Field survey, stake, and string the layout and locations of site construction features for approval before actual construction. The layout shall conform to the exact location and grades of the intended work to be done.
3. Coordinate all aspects of the planting plans with the irrigation system and call the attention of the owners representative to any conflict in placement of plants in relation to sprinkler heads, lines and valves at the time the landscape installation phase takes place.
4. Finish grade of soil in lawn areas shall be 2" below pads, walks, paving, headers and curbs to accommodate sod. Grades in areas when seeded shall be 1" lower than adjacent edge.
5. Native topsoil shall be stockpiled and stored on site whenever possible for use in landscape areas.
6. All sod areas shall receive a minimum 4" depth of native topsoil and shrub beds shall receive a minimum of 8" of native topsoil.
7. Imported topsoil, when required, shall come from a reputable source, have a loam consistency and be free of weeds and debris.
8. Face each shrub to give the most pleasing look as seen from a line perpendicular to the wall or walk to/from which it is viewed.
9. Edging or Curbing shall be installed as shown on the plan to separate grass from shrub beds.
10. Shrub beds shall drain properly to prevent standing water from occurring. Call improperly draining planters or planting beds to the attention of the owners representative before planting. Provide positive drainage away from all structures and walls. Slope landscape areas 2% minimum.
11. Place mulch in all shrub beds and perennial areas. See schedule for depth and type. Do not crowd out small perennial plants with excessive mulch.
12. Provide a 3' minimum diameter circle "tree ring" around trees that are placed within lawn areas. Place a 3" min. depth of mulch. Use shredded bark mulch or match mulch being used for shrub beds.
13. The contractor shall maintain all work until work is complete and accepted by the Owner. The contractor shall maintain and guarantee all work for a period of THIRTY DAYS from the date of final acceptance by the Owner. Maintenance shall include mowing, weeding, fertilizing and irrigating.